



NO ONWARD CHAIN! GUIDE PRICE £400,000 - £415,000. Bear Estate Agents are thrilled to bring to the market this spacious THREE bedroom, DETACHED bungalow in the heart of Eversley. Kingsdown Close is a delightfully quaint road in a highly sought-after location, within walking distance of local shops, local schools and popular bus routes. Pitsea railway station is only a 0.9 mile walk away, helpfully providing access to London Fenchurch Street on the reliable C2C rail service. An even shorter walk is the vast array of supermarkets, shops, food outlets and services located at Pitsea retail park and market! Finally, the road links from this home are also fantastic with the A127 and A13 being a short drive in each direction.

- NO ONWARD CHAIN!
- Walking Distance to Shops and Bus Routes
- Kitchen (14'7 x 7'5)
- Three-Piece Shower Room
- Attached Garage
- 0.9 Miles to Pitsea Railway Station
- Lounge/Diner (22'10 x 12'3)
- Three Good Sized Bedrooms
- Low Maintenance Rear Garden
- Driveway Parking

## Kingsdown Close

Basildon

**£400,000**

Guide Price



# Kingsdown Close



The internal layout of this home begins with a welcoming entrance porch which leads on into a hallway which connects all rooms. Located at the front of the home overlooking the driveway is the kitchen which measures 14'7 x 7'5 and boasts an abundance of cupboard and surface space. There is also a 'service hatch' style window which offers a social dynamic with the lounge/diner. The lounge/diner is a great space, measuring 22'10 x 12'3 at maximum dimensions and benefitting from a large window and a door into the rear garden.

The bedrooms are great sizes beginning with bedroom 1 which measures 10'8 x 11'7 at maximum dimensions, boasting fitted wardrobes. Bedroom 2 measures 8'10 x 11'4, with bedroom 3 measuring 10'8 x 7'7 at maximum dimensions. The shower room is a three-piece suite, comprised of walk-in shower, toilet and sink.

The rear garden is incredibly low maintenance, currently comprised of paving tiles and turf area. There is also rear access to the adjoined garage. The driveway leads to the front of the above-mentioned garage, completing this marvellous home.

These properties rarely come for sale and need to be seen first-hand to appreciate all the benefits on offer. Call us today to book a viewing!

Council Tax Band: D (£2147.31)

AML Checks - All buyers interested in purchasing a property through us are required to complete an Anti-Money Laundering (AML) check. A non-refundable fee of £30 + VAT per buyer in the transaction will apply. This fee must be paid before proceeding with the purchase.

**NO ONWARD CHAIN!**

**GUIDE PRICE £400,000 - £415,000**

**0.9 Miles to Pitsea Railway Station**

**Walking Distance to Shops and Bus Routes**

**Porch**

**Hallway**

**Lounge/Diner (22'10 x 12'3)**

**Kitchen (14'7 x 7'5)**

**Bedroom 1 (10'8 x 11'7)**

**Bedroom 2 (8'10 x 11'4)**

**Bedroom 3 (10'8 x 7'7)**

**Three-Piece Shower Room**

**Ample Storage**

**Low Maintenance Rear Garden**

**Attached Garage**

**Driveway Parking**



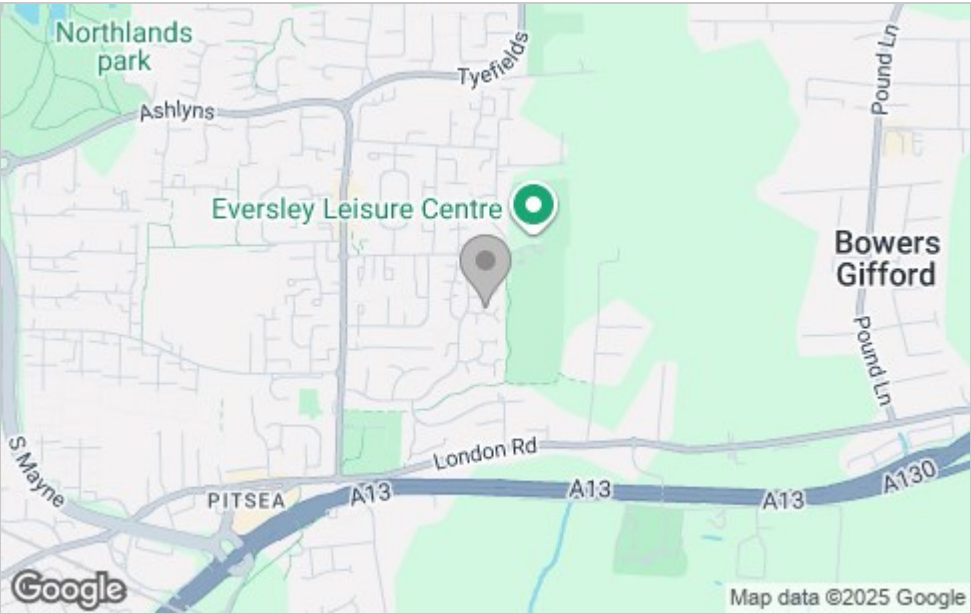




Floor Plan



Area Map



Viewing

Please contact our Basildon Office on 01268 661215 if you wish to arrange a viewing appointment for this property or require further information.

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firms employment has the authority to make or give any representation or warranty in respect of the property.

351 Clay Hill Road, Basildon, Essex, SS16 4HA

Office: 01268 661215 [basildon@bearestateagents.co.uk](mailto:basildon@bearestateagents.co.uk) <http://www.bearestateagents.co.uk/>

Energy Efficiency Graph

